

ZONED: C2 & R (REQUESTED A2,

SEBATES
A2 (REQUESTED)
FRONT: 15'
SIDE: 5'
REAR: 25'
CORNER SIDE: 15'

STREETS: 24' ASPHALT WITH CURB & GUTTER
PROPERTY INFO: MERRITT McDONALD PROPERTY
ACREAGE: 12.00 AC.
OF UNITS: 30
DENSITY: 30/200-2,500 sq. units/ACRE
MAX BLDG HEIGHT: 35' (A2)
PLANNING DISTRICT: 16
EXISTING LAND USE: UND
FUTURE LAND USE: C
EXISTING ZONING (ADJOINING PARCELS): C2, R,
SCHOOL DISTRICT: EBR-9
SEWER: CITY OF BATON ROUGE (WSTN)
WATER: BATON ROUGE WATER CO
ELECTRIC CO.: ENTENRGY
GAS CO.: ENTENRGY
FIRE DISTRICT: BATON ROUGE FIRE DISTRICT #2
CIPCC LOT ID: 16-303098937

FEMA FLOOD ZONE: "X" & "AE"

- ① REQ'D. 15' FRONT BUILDING SETBACK
- ② REQ'D. 25' REAR BUILDING SETBACK
- ③ REQ'D. 5' SIDE BUILDING SETBACK
- ④ REQ'D. 15' CORNER SIDE BUILDING SETBACK
- ⑤ REQ'D. 12' PUBLIC UTILITY SERVITUDE

BASED UPON GPS OBSERVATIONS, REFERENCE MAPS, AND FOUND MONUMENTS "A" & "B".
BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, LOUISIANA
ZONE SOUTH (NAD 83).

THE HORIZONTAL POSITIONS AND GRID BEARINGS SHOWN ARE REFERENCED TO NGS STATION "SJB1" (PID DG4818). THE HORIZONTAL POSITIONS AND GRID BEARINGS ARE REFERENCED TO THE NAD 83 DATUM AND ARE GIVEN IN VALUES CORRESPONDING TO THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE.

1) MAP SHOWING THE FINAL PLAT FOR MAJESTIC OAKS SUBDIVISION, 1ST FLING, BEING SUBDIVISION 06 TRACT C-1-A-1 AND DEDICATION OF SERVIDITUDES ON TRACTS C-2-A, C-1-B-1 OF THE MERRITT McDONALD PROPERTY, FOR MAJESTIC OAKS, INC. BY FERRIS ENGINEERING & SURVEYING INC.
DATED 09-27-1994.

2) MAP SHOWING RESUBDIVISION OF TRACTS C-1-A, C-1-B AND C-2 OF THE MERRITT McDONALD PROPERTY INTO TRACTS C-1-A-1, C-1-B-1 AND C-2-A, FOR MERRITT E. McDONALD, BY FERRIS ENGINEERING & SURVEYING INC. DATED 9-13-1994.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	72.24'	174.21'	23.76	S50° 57' 54"W	71.73'
C2	254.91'	285.00'	51.25	S13° 27' 45"W	246.50'

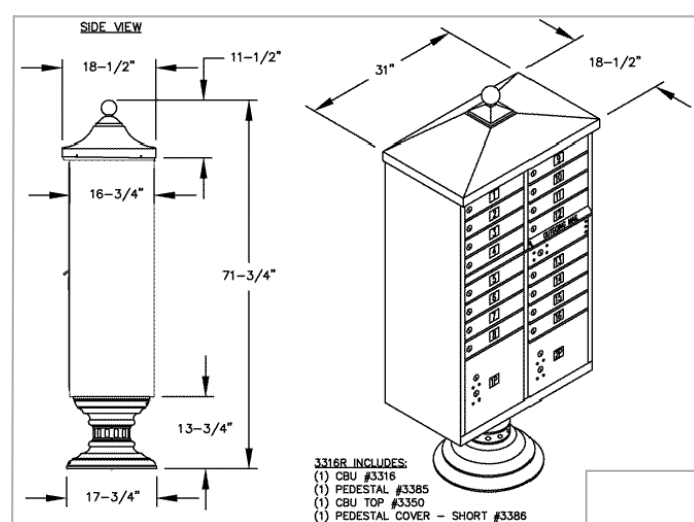
LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	23.20'	S07° 31' 14"W
L2	11.55'	S22° 40' 18"E
L3	30.00'	S67° 19' 42"W
L4	34.98'	N22° 40' 18"W
L5	75.99'	S39° 05' 06"W
L6	502.55'	S12° 09' 39"E

COMPONENTS	PERCENTAGE	ACREAGE
REQUIRED COMMON OPEN SPACE (15% OF TOTAL ACREAGE)	15% OF TOTAL ACREAGE	1.80 AC.
REDUCTION FOR 12.4% OVER-RETENTION	2%	0.24 A.C
TOTAL OPEN SPACE REQUIRED		1.56 AC.

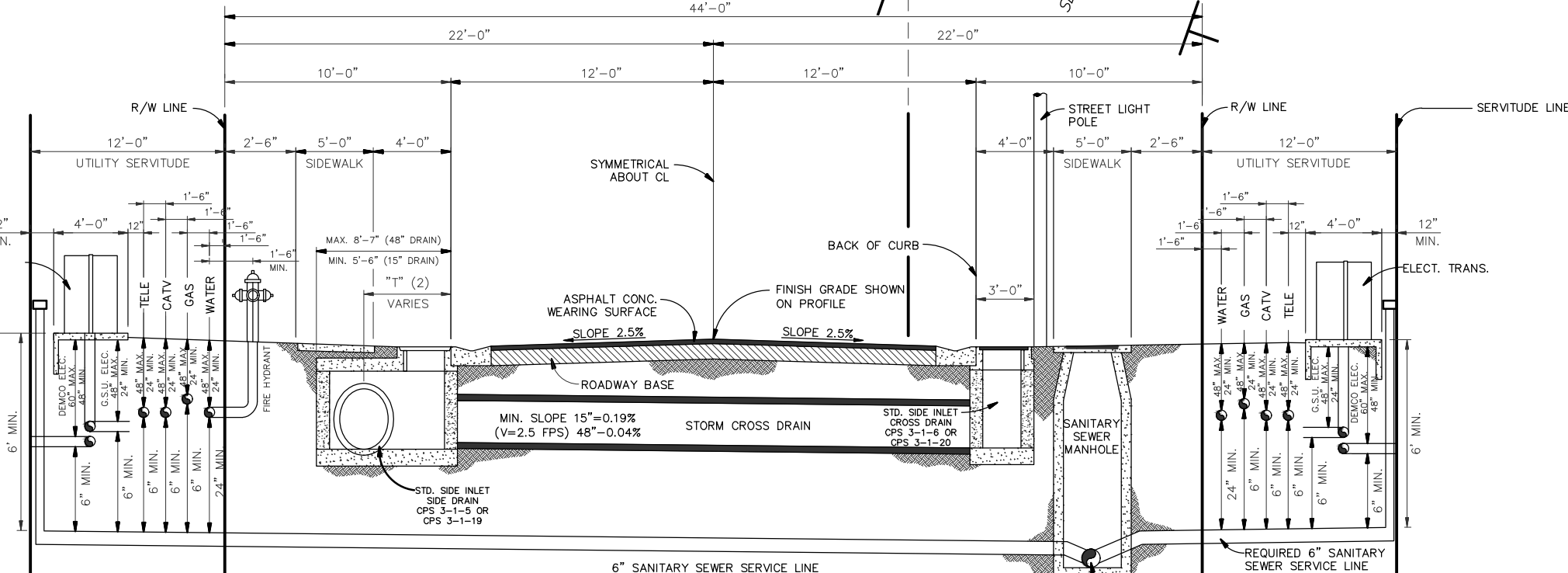
<i>COMMON OPEN SPACE PROVIDED</i>		
COMPONENTS	TOTAL	PROVIDED
COMMON OPEN SPACE (100%)	1.15 AC.	1.15 AC.
DRY RETENTION POND (100% OF TOTAL)	0.50 AC.	0.50 AC.
TOTAL COMMON OPEN SPACE		1.65 AC.
TOTAL GREEN OPEN SPACE (50% OF COS)		0.83 AC.

PROPERTY LINE
 ADJ. PROPERTY LINE
 SEWER SERVITUDE
 UTILITY SERVITUDE
 DRAINAGE SERVITUDE
 PROPOSED LOT LINE
 PROPOSED ROAD CENTERLINE
 TREE DRIP LINE
 CONTOUR LINE
 PROPERTY CORNER FOUND
 EXIST. TREES
 COMMON OPEN SPACE - 1.15 AC.
 WET POND - 0.50 AC.
 (100% TO TOTAL COS)
 FLOOD ZONE "AE"

HENRY MCDONALD LLC
MERRITT MCDONALD -REPRESENTATIVE
ADDRESS: 1840 HWY. 356 SUNSET, LA 70584



SCALE: N.T.S.



TYPICAL SECTION (44' R/W WITH CURB AND GUTTER.)

NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF EAST BATON ROUGE PARISH.

AS PART OF THE CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORM WATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN THE UNIFIED DEVELOPMENT CODE, LATEST REVISION.

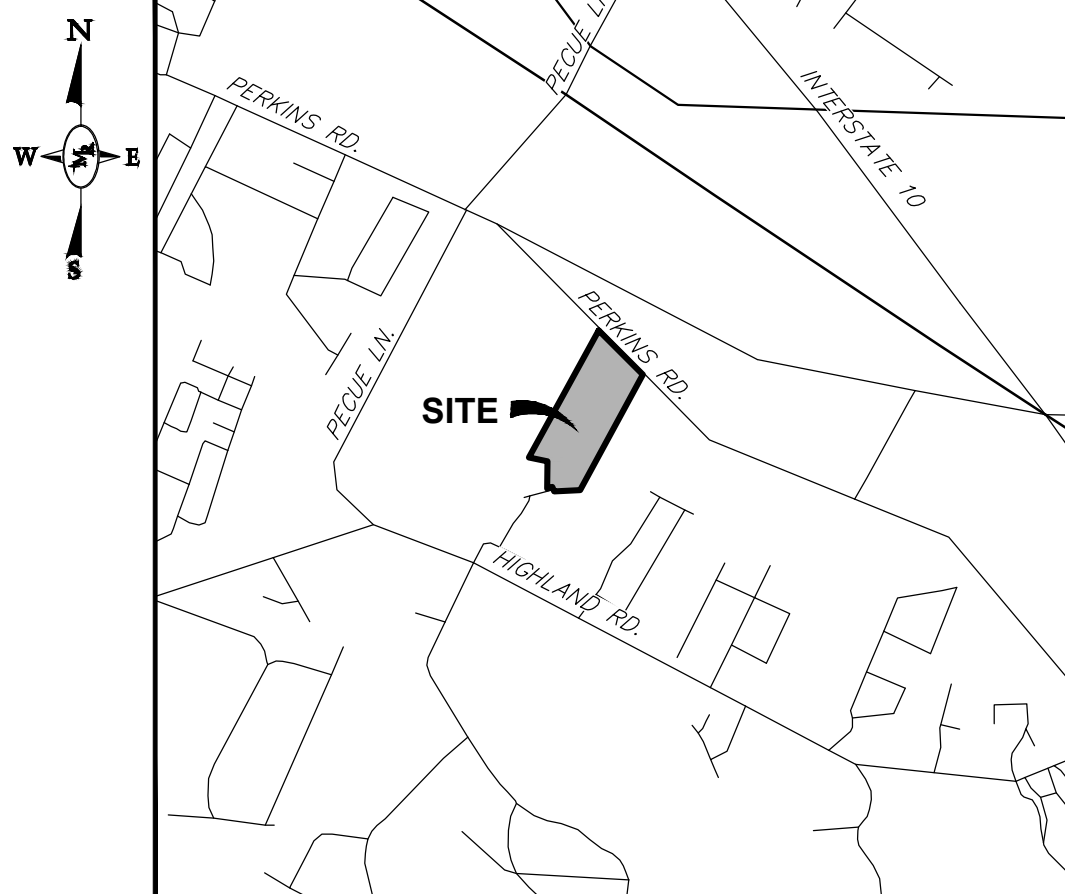
1) NO ATTEMPT HAS BEEN MADE BY MR ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY OR OTHER INTERESTS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE OWNER OR THE OWNERS REPRESENTATIVE.

2) THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND CITY-PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.

THE RIGHTS OF WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVICED ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE, REMOVAL OF TREES, SHRUBS, OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

THE COMMON AREAS SHOWN HEREON ARE DEDICATED FOR THE EXCLUSIVE USE AND ENJOYMENT OF THE RESIDENTS OF MAJESTIC OAKS 2ND FILING. ALL MAINTENANCE SHALL BE BY THE HOA, HOMEOWNERS ASSOCIATION. DPW SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR UPKEEP OF THE LAKES, SHORELINE, OR ANY OTHER COMMON AREA'S.

THE COMMON AREAS SHOWN HEREON ARE DEDICATED FOR THE EXCLUSIVE USE AND ENJOYMENT OF THE RESIDENTS OF MAJESTIC OAKS 2ND FILING. ALL MAINTENANCE SHALL BE BY THE PROPERTY OWNERS ASSOCIATION. DPW SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR UPKEEP OF ANY COMMON AREAS.

**VICINITY MAP**

SCALE= 1":2,000'

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HENRY MCDONALD LLC
MERRITT MCDONALD -REPRESENTATIVE
ADDRESS: 1840 HWY. 356 SUNSET, LA 70584

PRELIMINARY PLAT EXHIBIT
OF
MAJESTIC OAKS

2ND FILING
(SINGLE-FAMILY RESIDENTIAL DEVELOPMENT)
LOTS 14 THRU 43 (INCLUSIVE)
& TRACTS CA-1 THRU CA-5 & PS
BEING A SUBDIVISION OF TRACT C-1-B-1-A-1
A PORTION OF THE MERRIT MCDONALD PROPERTY
LOCATED IN

SECTION 68, T8S-R2E,
GREENSBURG LAND DISTRICT,
THE CITY OF ST. GEORGE,
EAST BATON ROUGE PARISH,
STATE OF LOUISIANA,
FOR
HENRY McDONALD, LLC.

MR MR ENGINEERING & SURVEYING, LLC
9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592

Louisiana 811

MAJESTIC OAKS
PERKINS ROAD
CITY OF ST. GEORGE
EAST BATON ROUGE PARISH
PRELIMINARY PLAT EXHIBIT

PRELIMINARY PLAT EXHIBIT

DESIGNED CHECKED	TRB MLR
DETAILED CHECKED	TRB MLR
DATE SHEET	04/2026 1 OF 1

DATE SHEET 04/2020 1 OF 1

[illegible]

REVISION DATE	REVISION DESCRIPTION	BY
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